

③ VIGNETTES FIRST KEY PLAN  
1" = 100'-0"



② Persp From Florida Ave Looking East  
NoMa/Union Market Affordable



① Persp From Florida Ave

301 Florida Ave NE, Washington, DC 20002

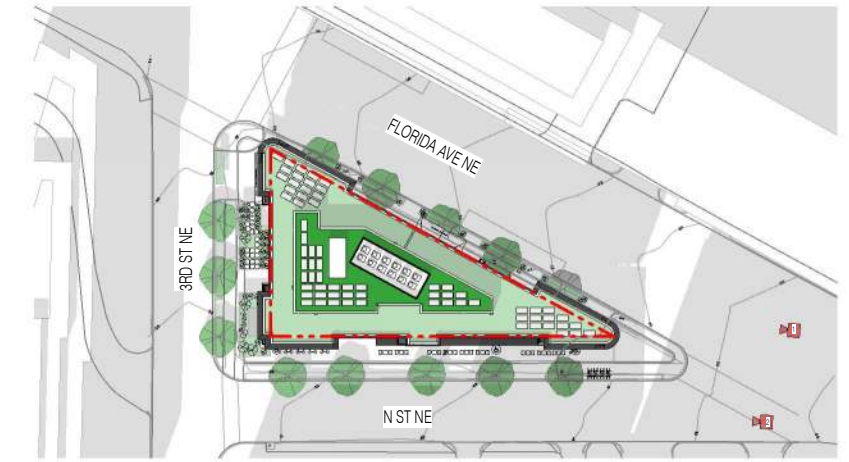
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VIGNETTES | A.73

12/02/2021





③ VIGNETTES SECOND KEY PLAN  
1" = 100'-0"



② Persp From N Street Looking West



① Persp From Florida Ave looking West

NoMa/Union Market Affordable

301 Florida Ave NE, Washington, DC 20002

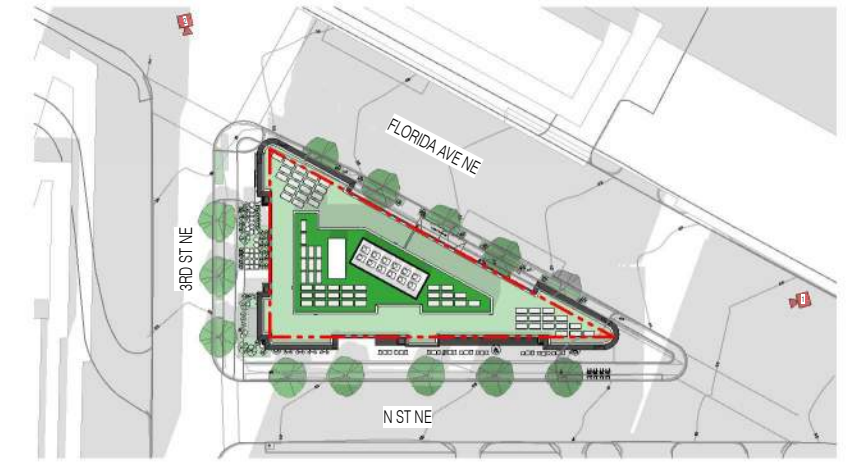
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VIGNETTES | A.74

12/02/2021

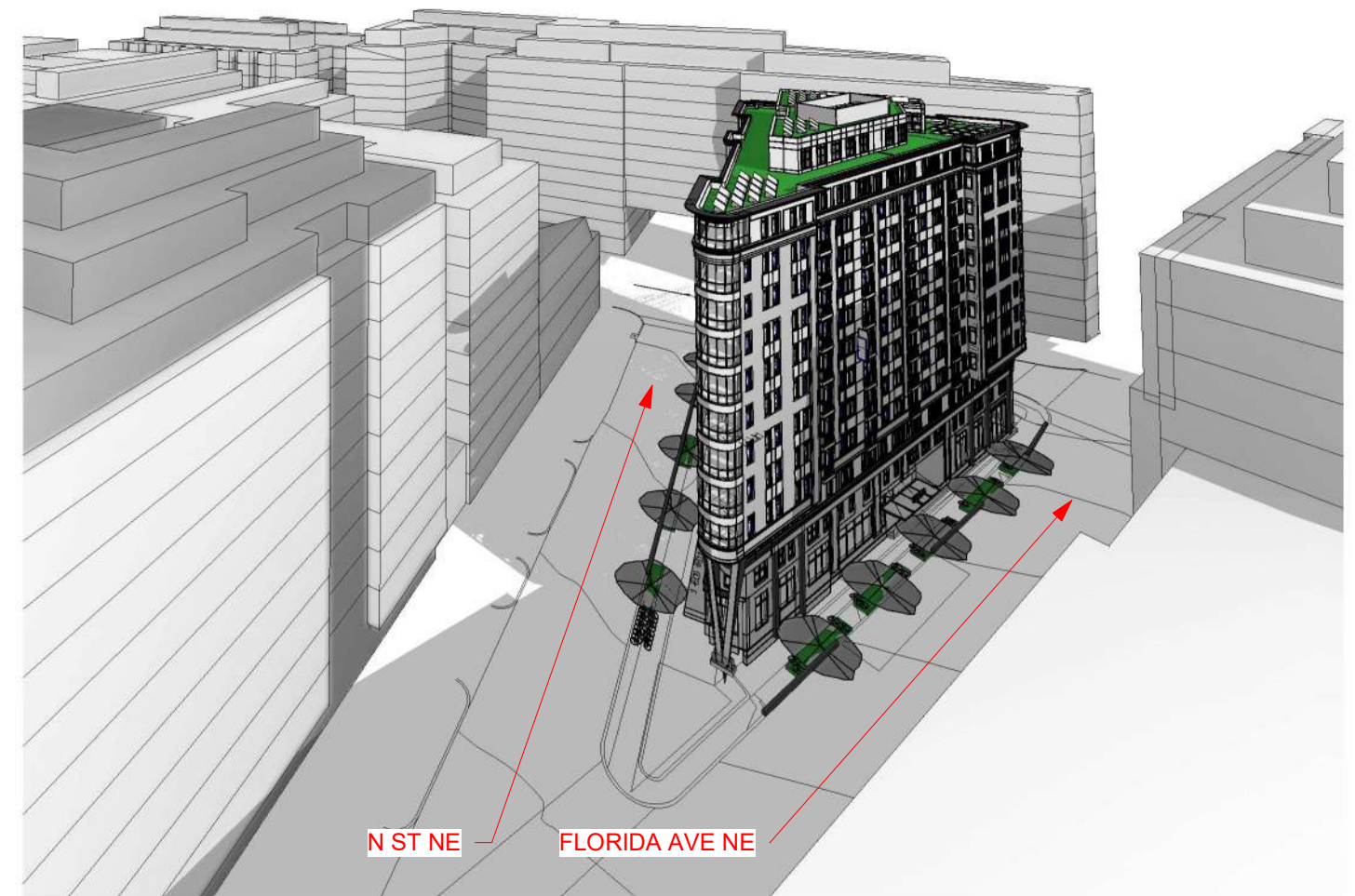




③ VIGNETTES THIRD KEY PLAN  
1" = 100'-0"



② Persp From Florida Ave Looking North-East



① Aerial Perspective From Florida Ave Looking West

NoMa/Union Market Affordable

301 Florida Ave NE, Washington, DC 20002

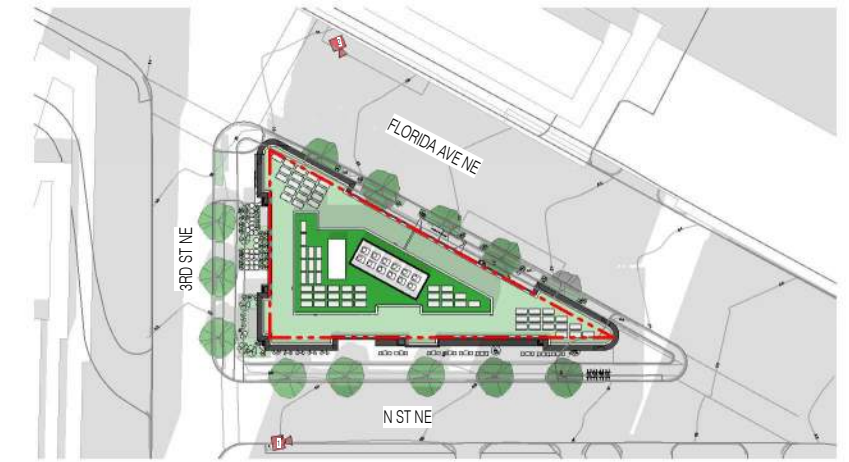
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VIGNETTES | A.75

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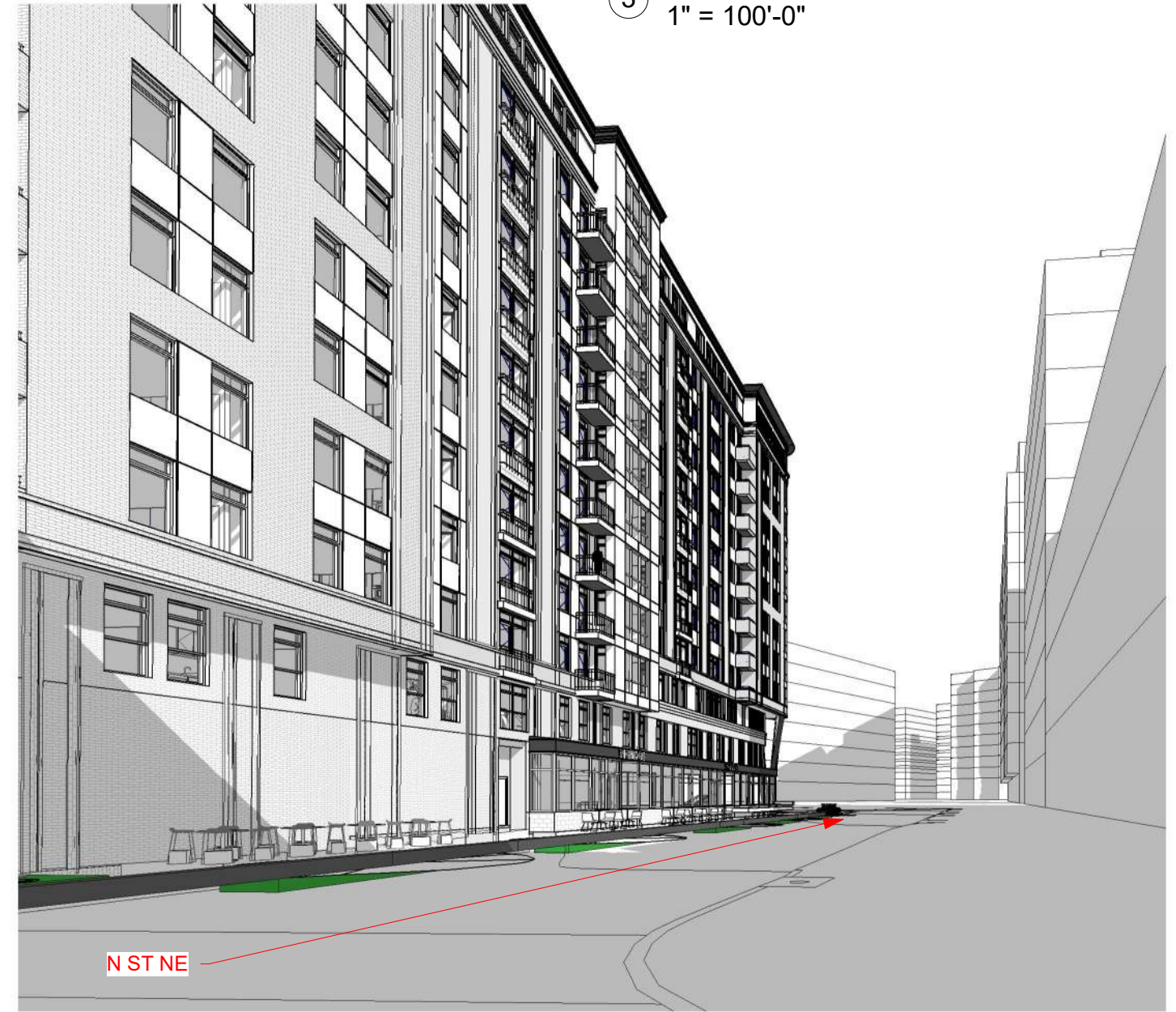




③ VIGNETTES FOURTH KEY PLAN  
1" = 100'-0"



② Persp From Florida Ave Looking East.



① Persp From N Street Looking East

NoMa/Union Market Affordable

301 Florida Ave NE, Washington, DC 20002

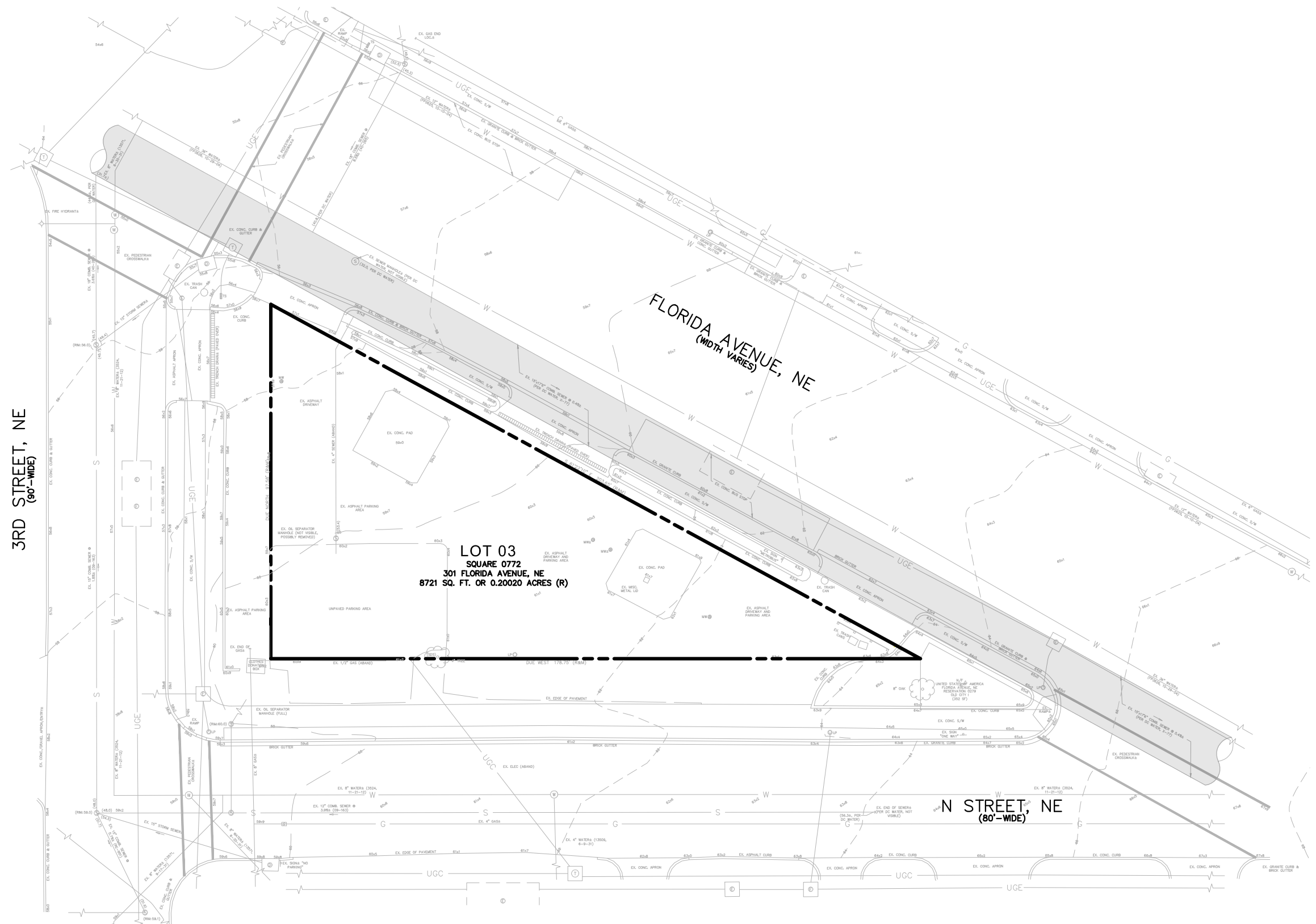
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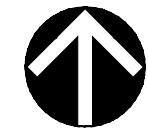
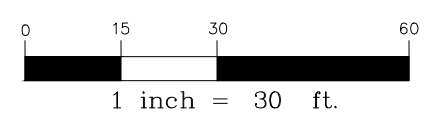
VIGNETTES | A.76

12/02/2021





**LOT 03**  
**SQUARE 0772**  
**301 FLORIDA AVENUE, NE**  
**8721 SQ. FT. OR 0.20020 ACRES (R)**



301 FLORIDA AVE

301 Florida Ave NE, Washington, DC 20002

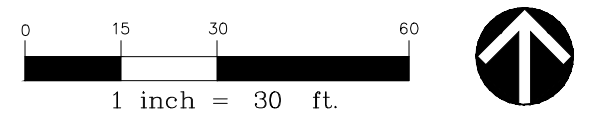
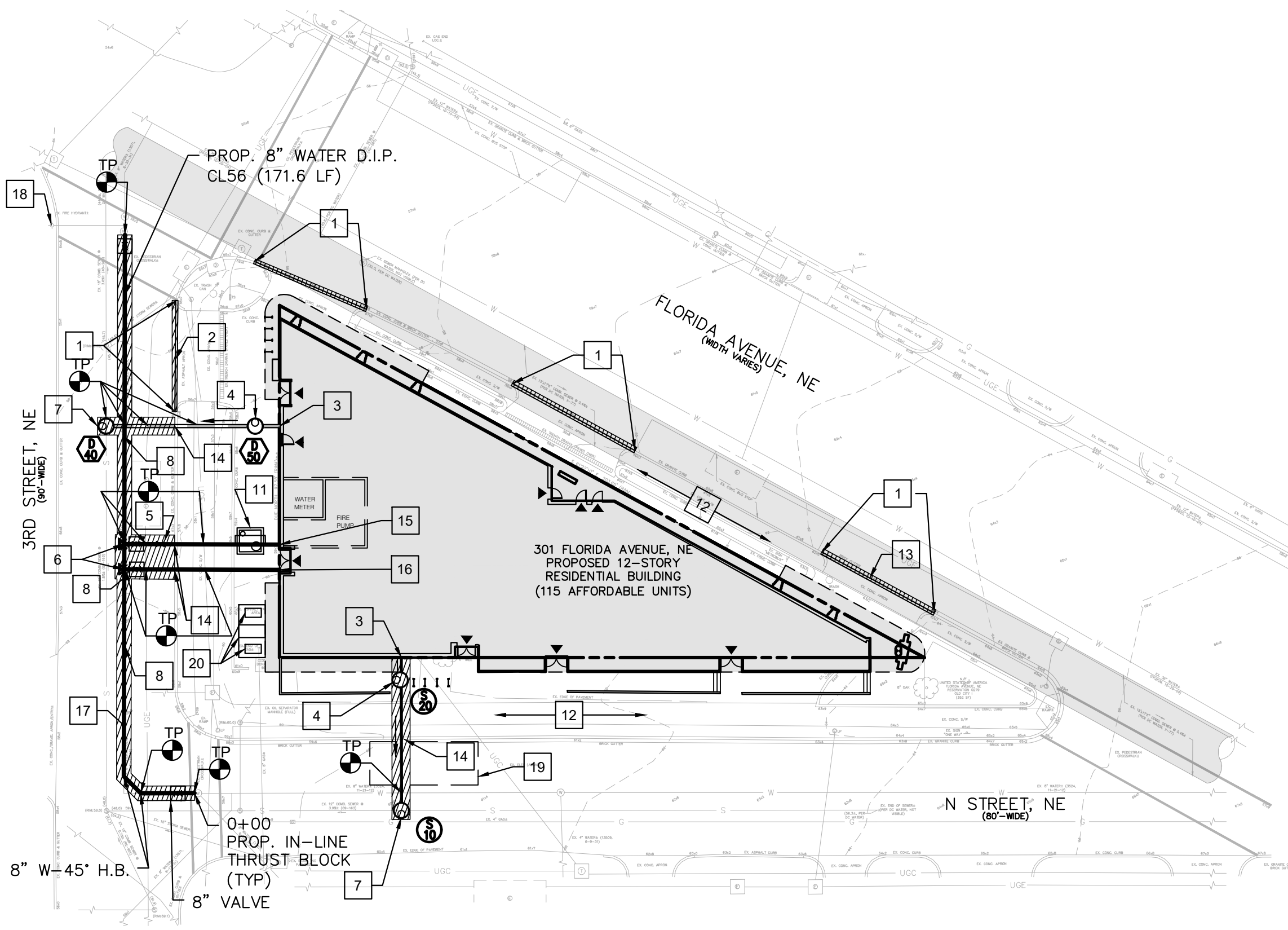
EXISTING CONDITIONS PLAN CIV0100

11/12/2021



# SITE KEYNOTES

- 1 CONTRACTOR SHALL MEET THE EXISTING CURB AND GUTTER IN-LINE AND ON GRADE (TYP).
- 2 PROPOSED CONCRETE CURB (TYP).
- 3 REFER TO MEP PLANS FOR COORDINATION (TYP).
- 4 PROP. S-20.01 48" DIAMETER MANHOLE (TYP).
- 5 PROPOSED 6"x3" REDUCER (TYP).
- 6 PROP. 8"x6" TEE AND CONC. THRUST BLOCK (TYP).
- 7 PROP. S-20.11 48" DIA MANHOLE (TYP).
- 8 PROP. PAVEMENT PATCH (TYP)
- 9 PROP. ELECTRIC VAULTS. REFER TO DRY UTILITY PLANS FOR DETAILS AND SPECIFICATIONS (TYP).
- 10 PROP. BUILDING OVERHANG (TYP.). REFER TO ARCHITECT'S PLANS FOR DETAILS AND SPECIFICATIONS.
- 11 PROP. DOMESTIC WATER METER VAULT (DG-23.01) W/ 3" METER
- 12 PROP. CONCRETE SIDEWALK (TYP). CONTRACTOR SHALL REPLACE THE SIDEWALK AS NECESSARY FOR THE SITE OR UTILITY IMPROVEMENTS.
- 13 PROP. GRANITE CURB (TYP).
- 14 CONTRACTOR SHALL REPLACE THE EX. CURB AND GUTTER AS NECESSARY FOR THE UTILITY IMPROVEMENTS (TYP).
- 15 CONTRACTOR SHALL INSTALL A DOMESTIC BACKFLOW PREVENTION DEVICE TO MEET ASSE 1015. REFER TO MEP PLANS FOR CONTINUATION (TYP).
- 16 CONTRACTOR SHALL INSTALL A DOUBLE DETECTOR CHECK FIRE PREVENTION DEVICE TO MEET ASSE 1048. REFER TO MEP PLANS FOR CONTINUATION (TYP).
- 17 PROPOSED 8" D.I.P. CL56 WATER MAIN.
- 18 EX. FIRE HYDRANT SHALL REMAIN.
- 19 PROPOSED LOADING SPACE
- 20 PROPOSED TRANSFORMER



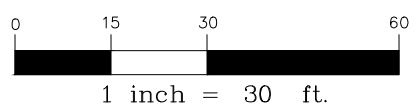
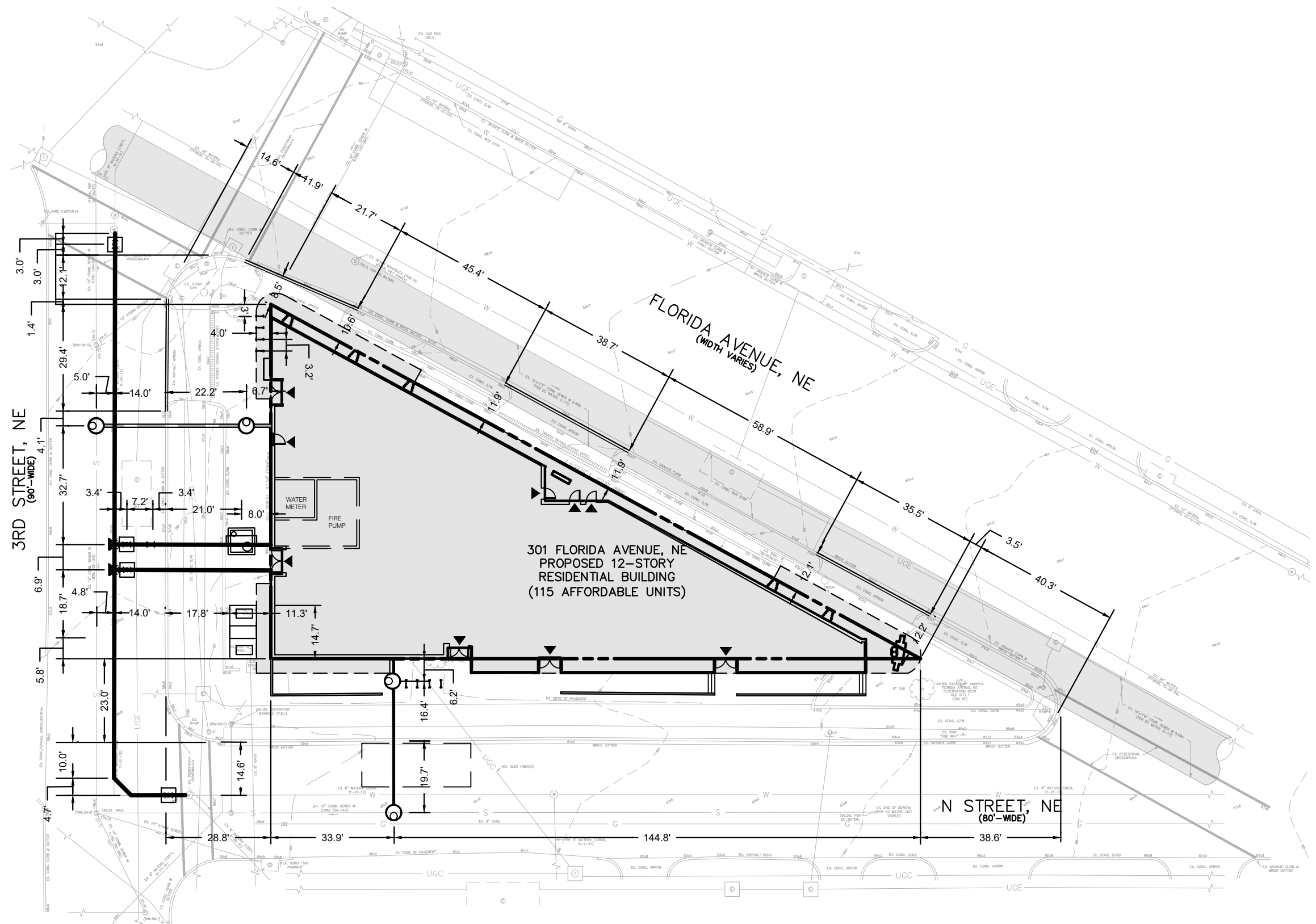
301 FLORIDA AVE

301 Florida Ave NE, Washington, DC 20002

SITE AND UTILITY PLAN CIV0300

11/30/2021





301 FLORIDA AVE

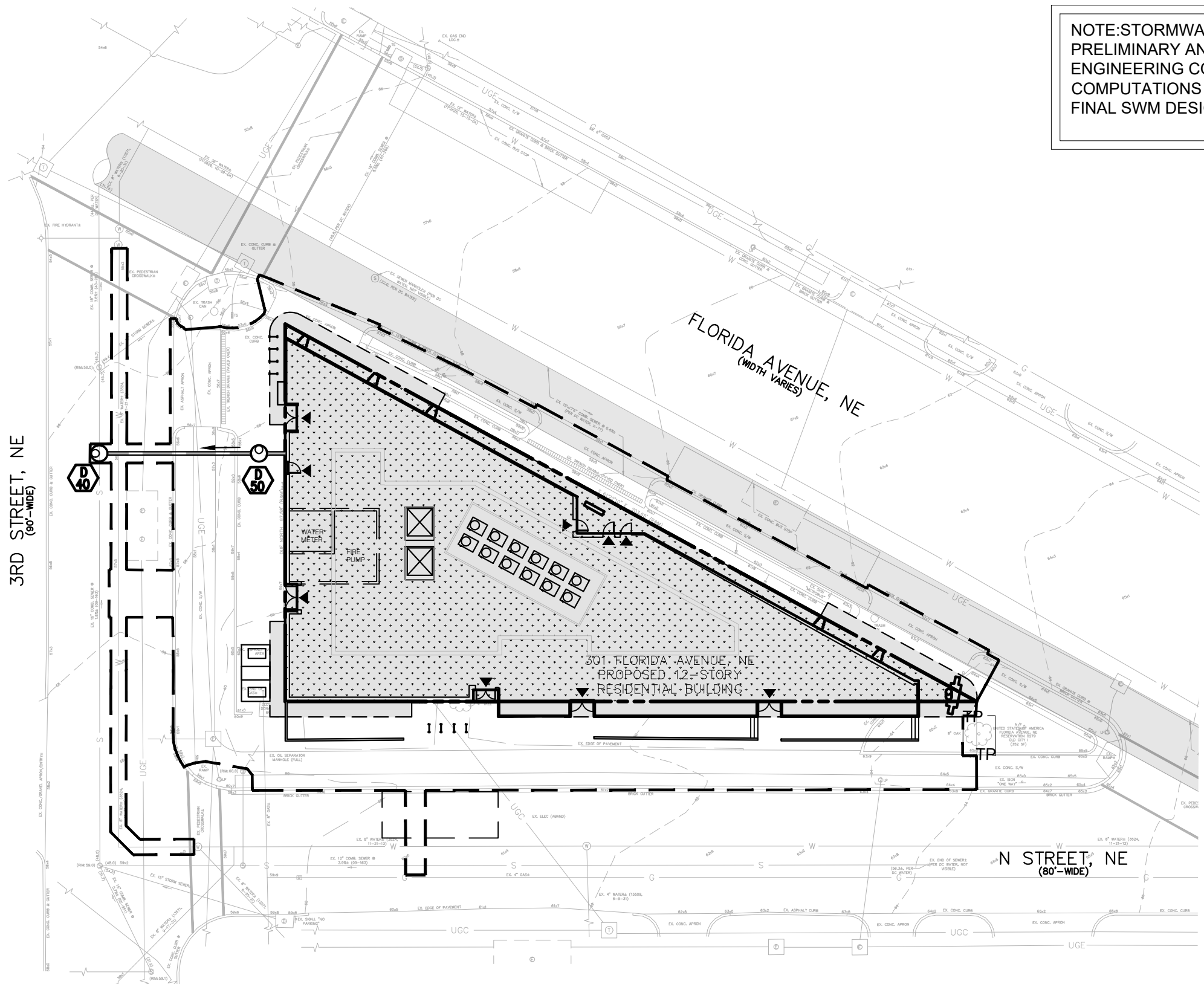
301 Florida Ave NE, Washington, DC 20002

PUBLIC SPACE EXHIBIT CIV0500

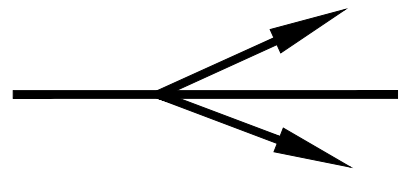
11/30/2021



NOTE: STORMWATER MANAGEMENT (SWM) FACILITIES AND COMPUTATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE. DURING THE PRODUCTION OF FINAL ENGINEERING CONSTRUCTION DOCUMENTS, THESE FACILITY TYPES AND COMPUTATIONS MAY BE ADJUSTED OR CHANGED BASED ON SITE CONDITIONS. FINAL SWM DESIGN SHALL MEET DOEE REQUIREMENTS.



STORMWATER MANAGEMENT LEGEND:



PROPOSED DRAINAGE DIVIDE



LIMITS OF DISTURBANCE



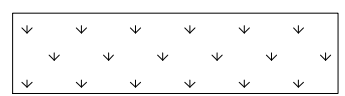
PROPOSED STORM DRAIN OUTFALL



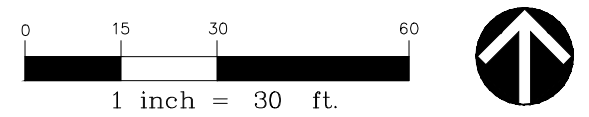
HVAC UNIT



OVERFLOW DRAIN



PROPOSED GREEN ROOF (7,369 SF)



301 FLORIDA AVE

301 Florida Ave NE, Washington, DC 20002

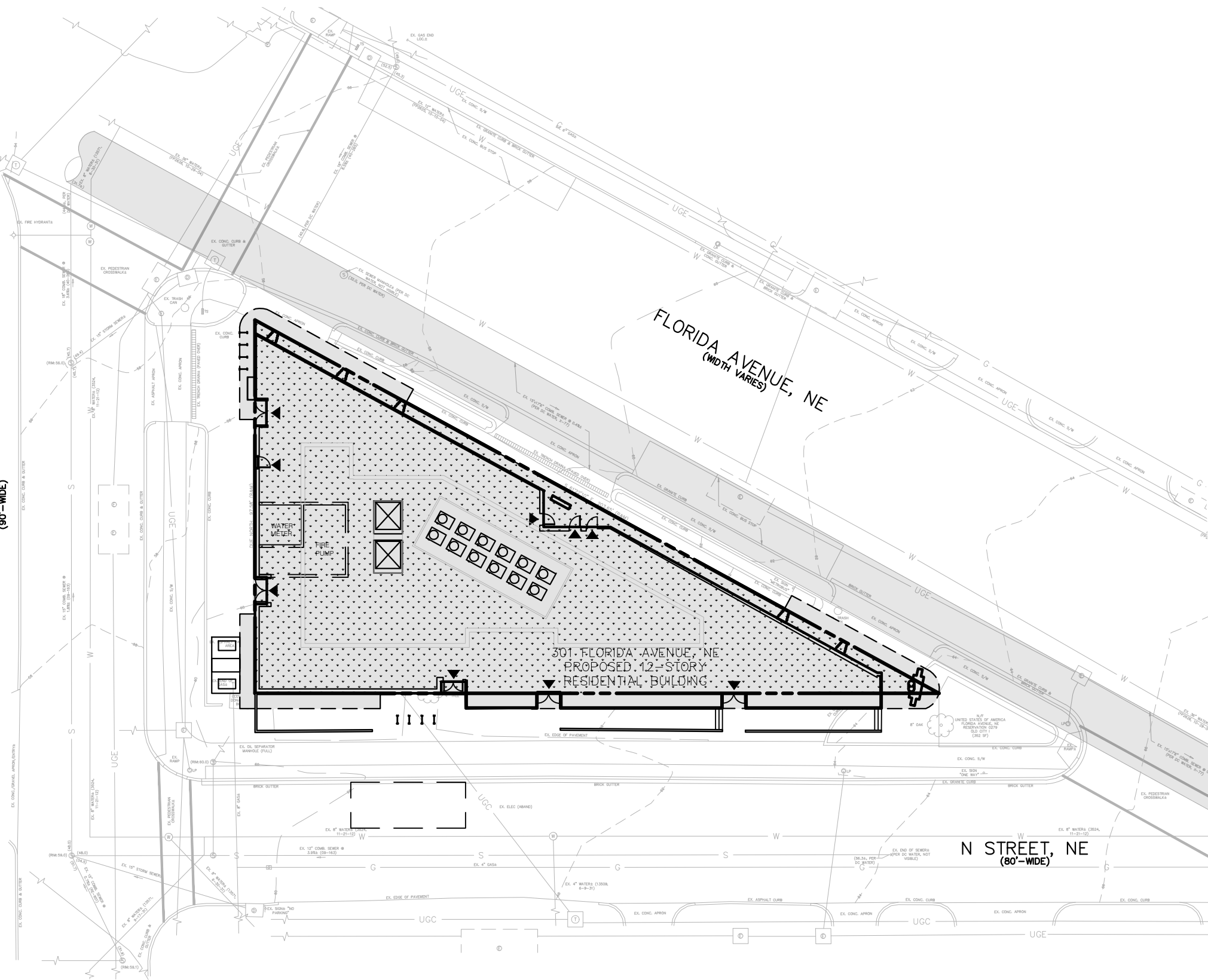
STORMWATER MANAGEMENT PLAN CIV0600

11/30/2021





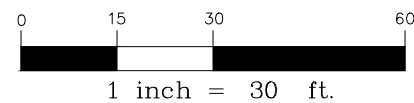
3RD STREET, NE  
(90'-WIDE)



Green Area Ratio Scoresheet					
★★★	Address: 301 Florida Ave NE	Square	Lot	Zone District	
	Other:	0772N	30	PDR-1	
	Lot size (enter this value first) *	8,721	Minimum Score	Multiplier	GAR Score
			0.3	SCORE:	0.338
<b>Landscape Elements</b>		Square Feet	Factor	Total	
<b>A Landscaped areas (select one of the following for each area)</b>					
1	Landscaped areas with a soil depth < 24"	<input type="text"/>	0.30		
2	Landscaped areas with a soil depth ≥ 24"	<input type="text"/>	0.60		
3	Bioretention facilities	<input type="text"/>	0.40		
<b>B Plantings (credit for plants in landscaped areas from Section A)</b>					
1	Groundcovers, or other plants < 2' height	<input type="text"/>	0.20	Native Bonus	<input type="text"/>
2	Plants ≥ 2' height at maturity - calculated at 9-sf per plant	<input type="text"/>	0.30	# of plants	<input type="text"/>
3	New trees with less than 40-foot canopy spread - calculated at 50 sq ft per tree	<input type="text"/>	0.50	# of trees	<input type="text"/>
4	New trees with 40-foot or greater canopy spread - calculated at 250 sq ft per tree	<input type="text"/>	0.60	# of trees	<input type="text"/>
5	Preservation of existing tree 6" to 12" DBH - calculated at 250 sq ft per tree	<input type="text"/>	0.70	# of trees	<input type="text"/>
6	Preservation of existing tree 12" to 18" DBH - calculated at 600 sq ft per tree	<input type="text"/>	0.70	# of trees	<input type="text"/>
7	Preservation of existing trees 18" to 24" DBH - calculated at 1300 sq ft per tree	<input type="text"/>	0.70	# of trees	<input type="text"/>
8	Preservation of existing trees 24" DBH or greater - calculated at 2000 sq ft per tree	<input type="text"/>	0.80	# of trees	<input type="text"/>
9	Vegetated wall, plantings on a vertical surface	<input type="text"/>	0.60	square feet	<input type="text"/>
<b>C Vegetated or "green" roofs</b>					
1	Over at least 2" and less than 8" of growth medium	<input type="text"/>	0.60	square feet	<input type="text"/>
2	Over at least 8" of growth medium	<input type="text"/>	0.80	square feet	<input type="text"/>
<b>D Permeable Paving***</b>					
1	Permeable paving over 6" to 24" of soil or gravel	<input type="text"/>	0.40	square feet	<input type="text"/>
2	Permeable paving over at least 24" of soil or gravel	<input type="text"/>	0.50	square feet	<input type="text"/>
<b>E Other</b>					
1	Enhanced tree growth systems***	<input type="text"/>	0.40	square feet	<input type="text"/>
2	Renewable energy generation	<input type="text"/>	0.50	square feet	<input type="text"/>
3	Approved water features	<input type="text"/>	0.20	square feet	<input type="text"/>
<b>F Bonuses</b>		sub-total of sq ft = 4,909			
1	Native plant species	<input type="text"/>	0.10	square feet	<input type="text"/>
2	Landscaping in food cultivation	<input type="text"/>	0.10	square feet	<input type="text"/>
3	Harvested stormwater irrigation	<input type="text"/>	0.10	square feet	<input type="text"/>
				Green Area Ratio numerator =	2,945
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score. Total square footage of all permeable paving and enhanced tree growth.					

301 FLORIDA AVE

301 Florida Ave NE, Washington, DC 20002



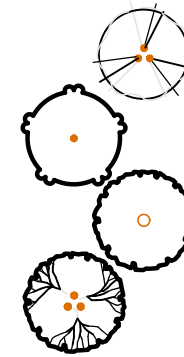
GREEN AREA RATIO PLAN CIV0610

11/30/2021



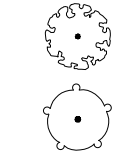
# PLANT SCHEDULE

## TREES



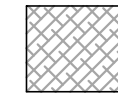
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AA	6	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	8' HT.
QP	5	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL.
TG	5	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5" CAL.
UP	3	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2.5" CAL.

## SHRUBS



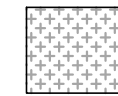
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
IGL	29	ILEX GLABRA	INKBERRY HOLLY	3 GAL.
MP	29	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	5 GAL.

## GROUND COVERS

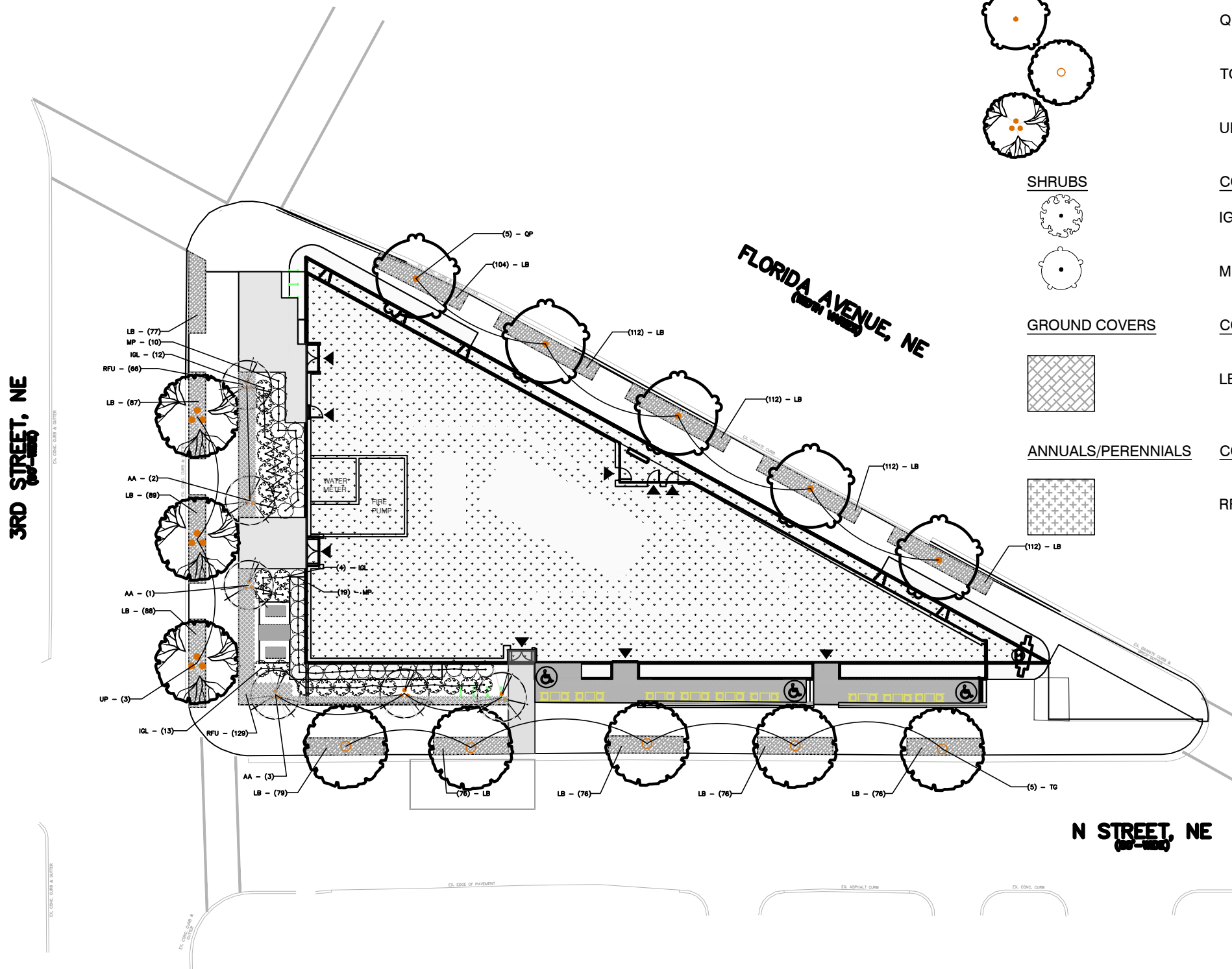


CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LB	1,276	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	12" o.c.

## ANNUALS/PERENNIALS

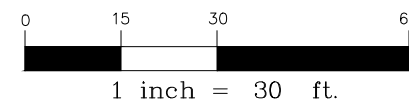


CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
RFU	195	RUDBECKIA FULGIDA	CONEFLOWER	1 GAL.	18" o.c.



301 FLORIDA AVE

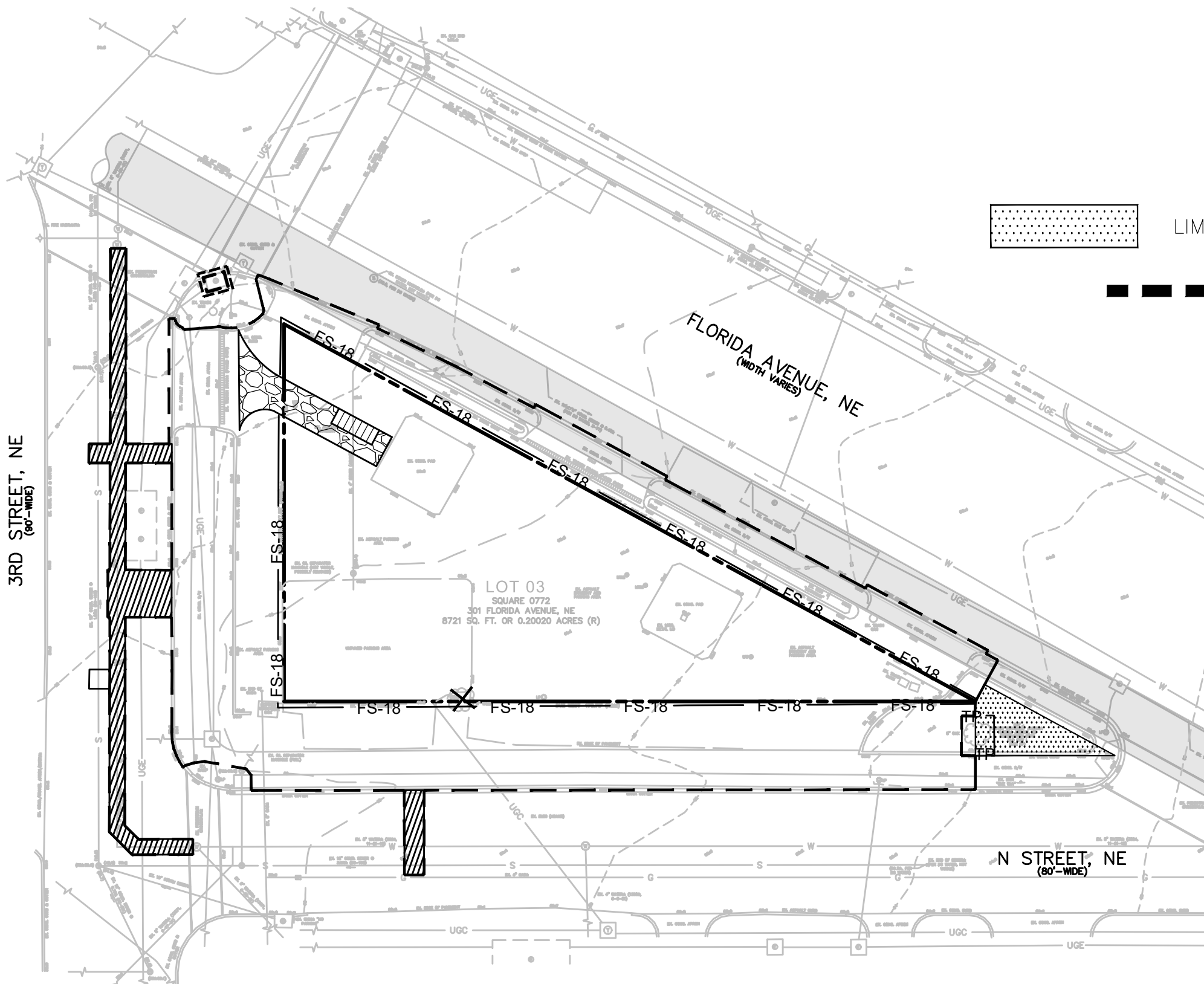
301 Florida Ave NE, Washington, DC 20002



PRELIMINARY LANDSCAPE PLAN CIV0620

11/30/2021






**LEGEND:**


 LIMITS OF NATIONAL PARK SERVICE (UNDISTURBED)


 LIMITS OF DISTURBANCE


 PUBLIC RIGHT-OF-WAY DISTURBANCE SOLELY FOR UTILITY TRENCH WORK

 INLET PROTECTION

 SF SILT FENCE

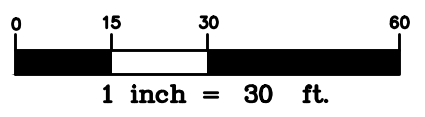
 SSF SUPER SILT FENCE

 TP TREE PROTECTION

 FS-18 FILTER SOCK

 EX TREE SHALL BE REMOVED

 STABILIZED CONSTRUCTION ENTRANCE W/ WASH RACK



**GREEN ROOF - DA #1**

**Contributing Drainage Areas**

Natural Cover	0	sq ft
Compacted Cover		sq ft
Impervious Cover	0	sq ft
BMP Cover	4909	sq ft
Runoff	660.7	ft <sup>3</sup>

$S_v = SA \times [(d \times \eta_1) + (DL \times \eta_2)] / 12$

Sv = Storage Volume	2245.9	ft <sup>3</sup>
Green Roof Area (SA)	4909	ft <sup>2</sup>
Media Depth (d)	8	in
Drainage Layer Depth (DL)	1	in
Media Volume of Voids ( $\eta_1$ )	0.57	<<
Drainage Layer Volume of Voids ( $\eta_2$ )	0.93	<<

**Green Roof Receive 100% Retention Value**

Rv =	660.7	ft <sup>3</sup>
Rv =	4942	gallons

**GREEN ROOF - DA #2**

**Contributing Drainage Areas**

Natural Cover	743	sq ft
Compacted Cover		sq ft
Impervious Cover	743	sq ft
BMP Cover	2460	sq ft
Runoff	431.1	ft <sup>3</sup>

$S_v = SA \times [(d \times \eta_1) + (DL \times \eta_2)] / 12$

Sv = Storage Volume	1125.5	ft <sup>3</sup>
Green Roof Area (SA)	2460	ft <sup>2</sup>
Media Depth (d)	8	in
Drainage Layer Depth (DL)	1	in
Media Volume of Voids ( $\eta_1$ )	0.57	<<
Drainage Layer Volume of Voids ( $\eta_2$ )	0.93	<<

**Green Roof Receive 100% Retention Value**

Rv =	431.1	ft <sup>3</sup>
Rv =	3224	gallons

301 Florida Avenue NE	
<b>SWRv</b>	Total Area = 8721
Post-project Land Cover	Major Substantial Improvement = 0
	Natural Cover = 0
	Compacted Cover = 0
	Impervious Cover = 1,352
	BMP Cover = 7,369
	Total Disturbed Area = 8,721
SWRv =	828 CF
	6,197 Gallons
On-site Retention Achieved =	1,092 CF
	8,166 Gallons
SRC Eligibility =	1,969 Gallons
Storage Volume of BMP's =	4890.7 CF

SDA 1	SDA 2	PROW	CN
8721	7145		
0	0	0	70
0	0	0	74
1,352	0	7,145	98
7,369	0	0	98
8,721	0	0	98

**ON-SITE REQUIREMENTS**

Weighted CN	S	Target Rainfall Event		
		2-yr storm	15-yr storm	100-yr storm
98.00	0.20	3.2	5.2	8.37
Runoff Volume w/ BMP's =		2.97	4.96	8.13
		-3.76	-1.77	1.40
Adjusted CN =		40.0	40	#N/A

Site Outfall	Required	Actual	Result
CSS or MS4	Required	CSS	PASS
Tunnel or GI	Required	Tunnel	PASS
2-Yr Detention	Required	Not required	PASS
On-site Retention	Not required	Not required	PASS

**STORMWATER MANAGEMENT NARRATIVE**

**STORM CONTROL REQUIREMENTS**  
 THIS SITE SHALL BE A MAJOR LAND DISTURBING ACTIVITY, AND AS SUCH THE 15-YEAR, 24 HOUR FREQUENCY STORM EVENT SHALL BE DETAINED TO A LEVEL THAT IS EQUAL TO OR LESS THAN THE STORM EVENT'S PRE-PROJECT PEAK DISCHARGE RATE. ADDITIONALLY IT IS WITHIN THE COMBINED SEWER OUTFALL SYSTEM AND AS SUCH THE 2-YEAR, 24-HOUR FREQUENCY STORM EVENT SHALL BE DETAINED TO A LEVEL THAT IS EQUAL TO OR LESS THAN THE STORM EVENT'S PRE-DEVELOPMENT (GOOD MEADOW) PEAK DISCHARGE RATE;

**RETENTION REQUIREMENTS**  
 THIS SITE SHALL BE A MAJOR LAND DISTURBING ACTIVITY, AND AS SUCH THIS SITE IS REQUIRED TO ACHIEVE RETENTION OF THE RAINFALL FROM THE 90TH PERCENTILE RAINFALL EVENT FOR THE DISTRICT OF COLUMBIA, MEASURED FOR A 24-HOUR RAINFALL EVENT WITH A 72-HOUR ANTECEDENT DRY PERIOD (1.2 INCH RAINFALL EVENT)

**BMP METHODS TO MEET STORMWATER MANAGEMENT REQUIREMENTS**  
 STORMWATER MANAGEMENT RETENTION REQUIREMENT FOR THE PROPOSED DEVELOPMENT WILL BE PROVIDED ON-SITE VIA GREEN ROOF FACILITIES. THESE FACILITIES WILL BE DESIGNED TO SAFELY AND ADEQUATELY TREAT AND CONVEY THE 15 YEAR STORM EVENT.

**VOLUME REQUIRED = 828 CF**  
**VOLUME PROVIDED = 1,092 CF**

GREEN ROOF STORAGE VOLUME COMPUTATIONS							
$S_v = SA_{GR} \times [(d_m \times \eta_m) + (d_{DL} \times \eta_{DL})]$							
Green Roof No.	SA <sub>GR</sub> (sf) Surface Area of Green Roof	Green Roof Type	d <sub>m</sub> (in) Media Depth	d <sub>DL</sub> (in) Drainage Layer Depth	$\eta_m$ Media Volume of Voids	$\eta_{DL}$ Drainage Layer Volume of Voids	Storage Volume Sv (ft <sup>3</sup> )
SWM GR1	4909	INTENSIVE	8.00	1.00	0.570	0.93	2246
SWM GR2	2460	INTENSIVE	8.00	1.00	0.570	0.93	1125
<b>TOTAL</b>	<b>7369</b>						<b>3371</b>

DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

Washington, D.C., November 24, 2021

Plat for Building Permit of :

SQUARE 772 - N LOT 3

Scale: 1 inch = 30 feet

Recorded in Book 211 Page 124

Receipt No. 22-01052

Drawn by: A.S.

Furnished to: BRIAN J. RUHL

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application \_\_\_\_\_; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_ Relationship to Lot Owner: \_\_\_\_\_

If a registered design professional, provide license number and include stamp below.

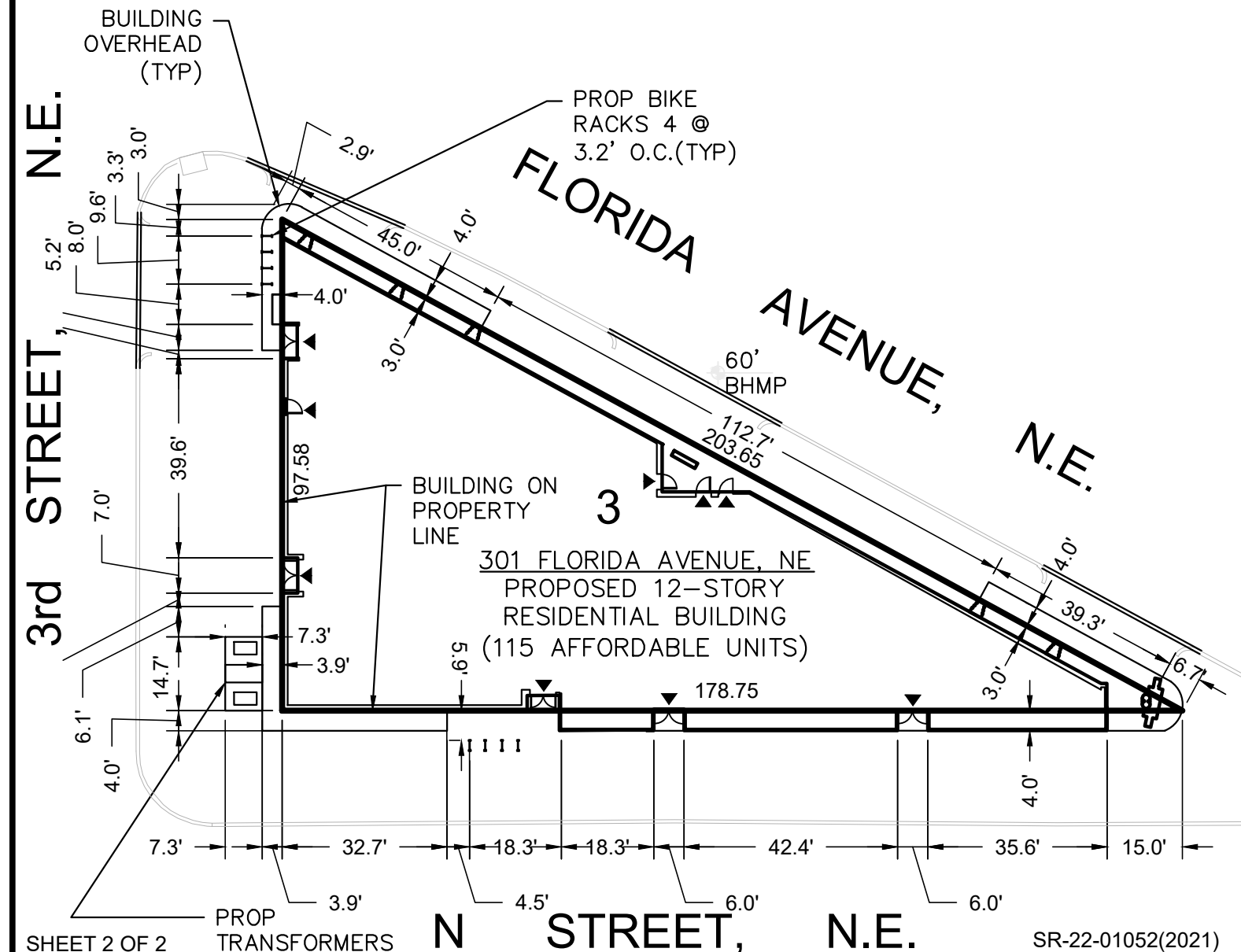


SCALE: 1:30

SHEET 1 OF 2

SR-22-01052(2021)

SQUARE 772 - N



SHEET 2 OF 2

SR-22-01052(2021)

301 FLORIDA AVE

301 Florida Ave NE, Washington, DC 20002



BUILDING PLAT CIV1300

11/30/2021

